



City of Oakland Park

RESIDENTIAL ZONING GUIDE

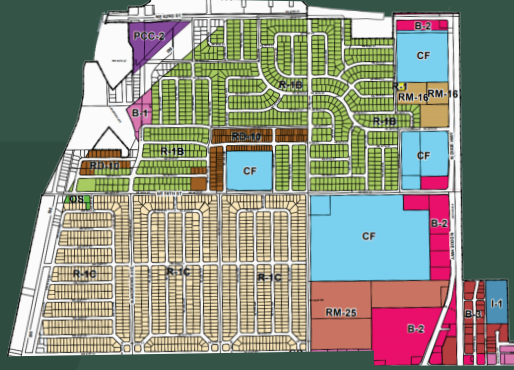
Why is Zoning important?

- ✓ Zoning protects neighborhood design & character
- ✓ Zoning standards ensure infill development fits proportionally with surrounding buildings
- ✓ Zoning reduces building issues and conflicts, such as overshadowing, stark walls, misaligned streetwalls, etc.

What can I build on a residential site?

Visit www.oaklandparkfl.gov/174/Planning-Zoning to review the published Zoning Map and find your site's zone.

You can also use the Broward County Property Appraiser's map on the website www.bcpa.net to find your zone.



Single Family

Permitted in the R-1, R-1A, R-1B, R-1C, TD, R-2, RM-5, RM-16, RM-25, RO, and RD-10 Zones



Two-Family Duplex

Permitted in the R-2, RM-5, RM-16, RM-25, and RD-10 Zones



Townhomes

Permitted in the TD, RM-16, RM-25, and RD-10 Zones



Multi-Family

3+ Units permitted in the RM-5, RM-16, and RM-25 Zones



Mixed-Use

Mixed use is possible in several Commercial and Special Zones. Contact City regarding your project.

What do the letters and numbers on the Zoning Map mean?

Each Zoning District name is abbreviated for simplicity. The letters and numbers below indicate what is allowed in each residential zone.

R-1, R-1A, R-1B, R-1C One Family

R-2 Two Family Residential

TD Town Home District

RO Residential Office District

RM-5 Multiple Family Dwelling (5 residences per gross acre)

RD-10 Duplexes and Attached One-Family Dwellings (10 residences per gross acre)

RM-16 Medium Density Multi-Family Residential (16 residences per gross acre)

RM-25 Medium-High Density Multi-Family Residential (25 residences per gross acre)

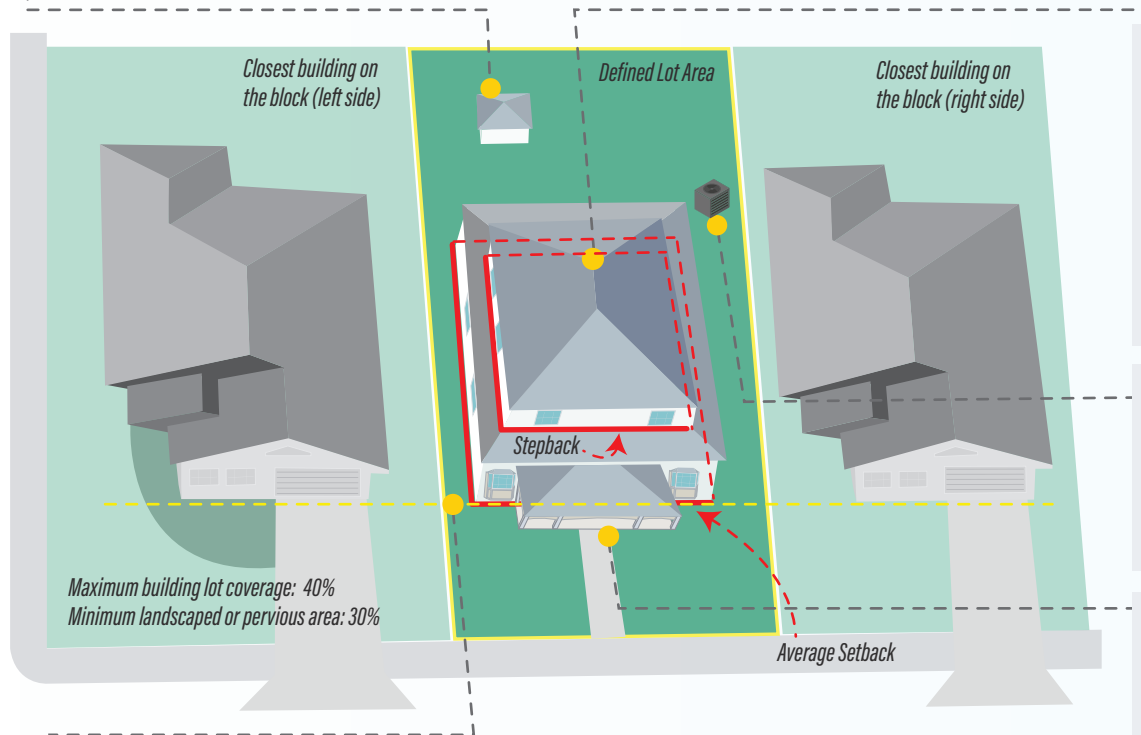
How should I position buildings on a residential site?

The diagram below highlights how sites can be configured based on Zoning regulations, i.e., setbacks, height, facades, privacy, etc.

Accessory Buildings & Structures

- **Freestanding garage:** Max height is 12'; min. setbacks are 5' from side & rear lot line, 15' from waterways or corner street side lot line; 400 sf max size
- **Sheds, pergolas, arbors, or trellises:** Max height is 10'; min. setbacks are 1/2 building height from side & rear lot line, 15' from waterways; 100 sf max size
- **Gazebos or tiki huts:** Max height is 12'; min. setbacks are the same as required for principal building
- **Swimming pools:** Required setback is 5' for side and rear lot line

(Special restrictions apply to R1-A, R1-B, R1-C, RM-5, and RD-10 zones. Please contact City for details.)



Building Height (measured to the rooftop)

- R-1, R-1A, R-1B, R-1C, R-2, RO, RD-10, and RM-5 Zones: maximum height is 27' with up to 2 stories
- TD and RM16 Zones: maximum height is 35' with up to 3 stories
- RM-25 Zone: maximum height is 50' with up to 4 stories
- If the average height of buildings on your block is taller than the stated maximum, your building can be as tall as that average height.
- Exempt from height are chimneys, safety railings, cupolas, etc.

Mechanical Equipment

AC condensers, pool equipment, and generators are permitted to encroach within 1/2 of the required side yard setback, or 42" into the required rear yard setback, if they are a low noise (<55dB) unit or insulated.

Permitted Extensions into Yards

- Porches (6' into front, 3' into side/rear)
- Balconies, bay windows, trim, etc. (3' into all yards)

Setback from Lot Line

Front Yard Build-to Line (Minimum and Maximum): average setback of the two closest buildings on the same side of the block (if there are no buildings, use 25')

Rear Yard Setback

- 15' in R-1, R-1A, R-1C, R-1B, TD, R-2, RM-16, RM-25, & RO
- 5' in RD-10, & RM-5 (15' for waterways)

Side Yard Setback (1- story or up to 15' tall in height)

- 7.5' in R-1, R-1A, R-1B, TD, R2, RM-16, RM-25, & RO (15' at corners)
- 5' in R-1, R-2, & RO for lots less than 60' wide
- 5' in R-1C, RD-10, & RM-5 (10' at corners)
- 15' setback at all waterways

Side Yard Stepback/Setback (height higher than 15' tall)

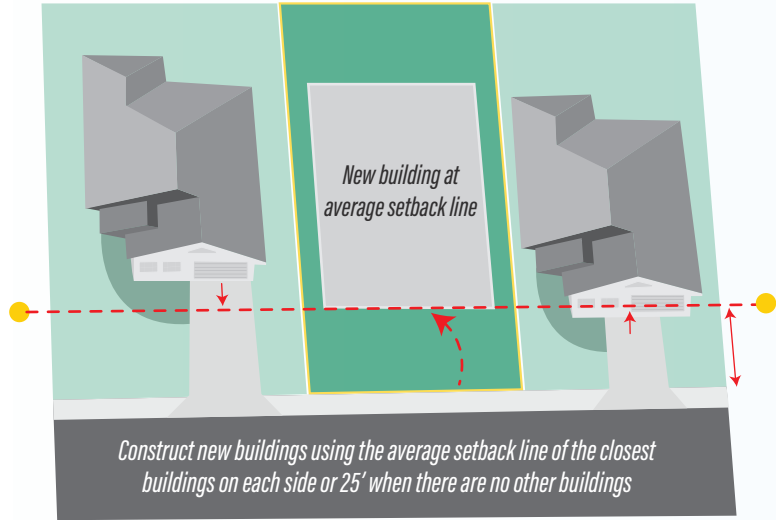
- 1/2 of building height in R-1, R-2, RO, R-1A, R-1B
- 1/3 of building height for lots less than 60' wide in R-1 & R-2
- 7.5' in TD, RM-16, RM-25
- 1/3 of building height in R-1C, RD-10, & RM-5

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How do I make sure my building's front setback aligns, as required, with my block's streetwall?

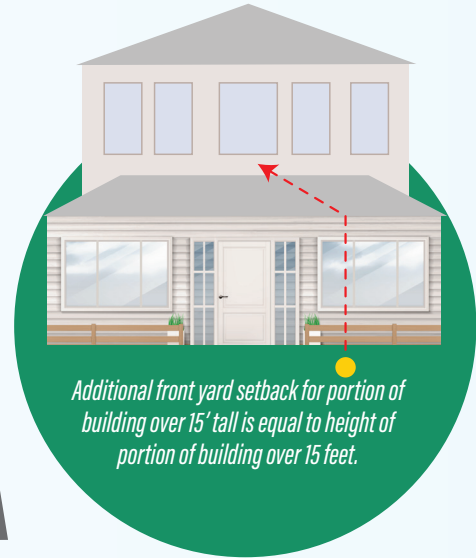
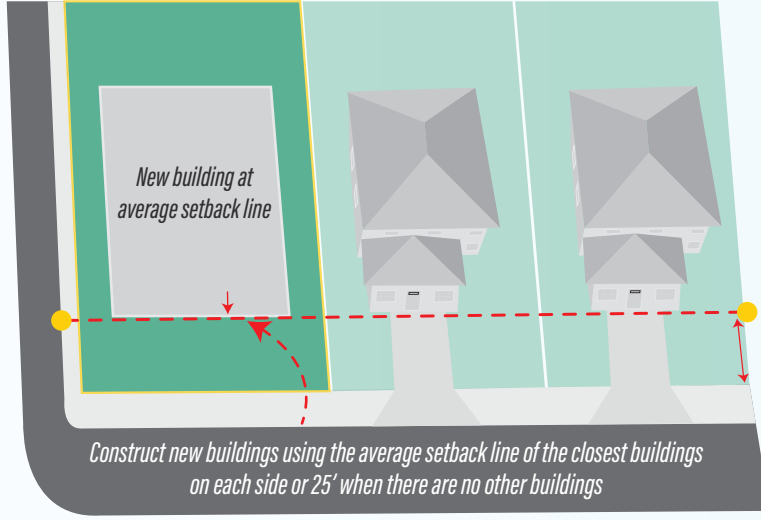
Mid-Block Lot

The required build-to line for residences up to 15' tall is set by the site's closest two buildings on the block (one on each side)



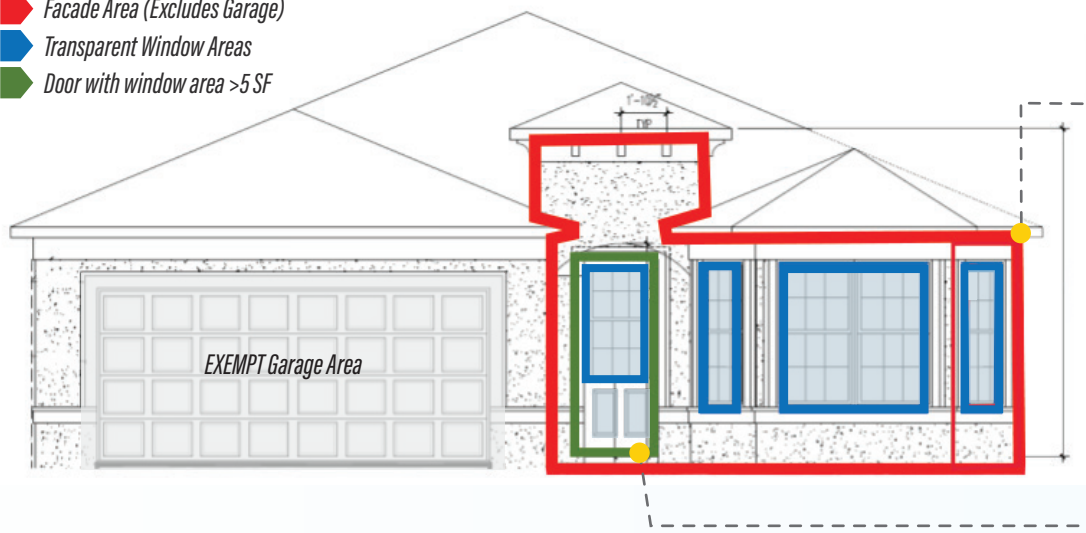
Corner Lot

The required build-to line for residences up to 15' of wall height is set by the site's closest two buildings on the block.



What protections exist to prevent homes with stark facades?

- ▶ Facade Area (Excludes Garage)
- ▶ Transparent Window Areas
- ▶ Door with window area >5 SF



Facades

- All front facades shall have a minimum of 23% transparent window area, except for garage area (up to 20' wide and 9' high).
- Street-facing side facades shall have a minimum of 10% transparent window area.
- Long wall expanses are not permitted. The maximum length of permitted continuous wall is 25' for front facades and 35' for side walls taller than 15 ft.

Doors

Doors with at least 5 square feet of transparent window area in each panel are credited to the window percentage requirement.

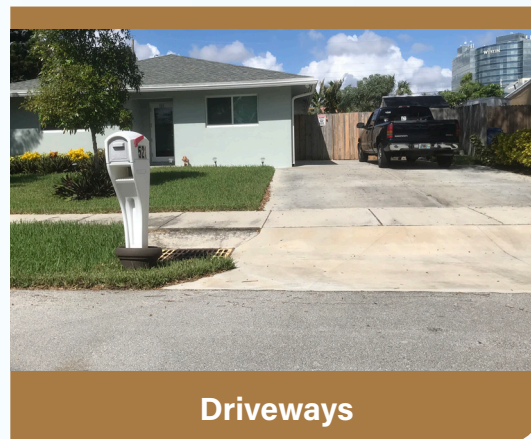
What other protections exist to maintain neighborhood compatibility?



A 2nd story window that is setback less than 10' from a side or rear lot line shall be offset at least 5' from any existing window it faces on another property within 10' of the lot line.




All shipping container, modular, or mobile home dwellings will require Conditional Use approval through public hearings in order to be built or installed.




A driveway must be setback 2.5' from the side of your lot, but this is only required if your lot is 60' wide or wider.

Who do I contact if I have Zoning questions?

Please contact the City of Oakland Park's Planning & Zoning Department.

 **954-630-4423**
Monday - Friday
8:00 a.m. to 5:00 p.m.

 5399 N. Dixie Highway
Suite #3
Oakland Park, FL 33334

